



COUNTY OF ROCKLAND
DEPARTMENT OF PLANNING

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C. SCOTT VANDERHOEF
County Executive

THOMAS B. VANDERBEEK, P.E.
Commissioner

ARLENE R. MILLER
Deputy Commissioner

March 2, 2012

Ramapo Planning Board
237 Route 59
Suffern, NY 10901

Tax Data: 33.06-1-2 33.06-1-1

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 1/13/2012

Date Review Received: 2/23/2012

Item: *MINISCEONGO PARK (R-1188D)*

Site plan for a mixed-use development consisting of five retail pads, including a 7000 SF convenience store with gasoline and diesel fuel sales, a 4000 SF bank with a drive-through window, a 5200 SF, 225 seat family-style restaurant, a 9000 SF retail building, and 200 units of multi-family housing contained in five buildings. The 27.0275 acre site is located in an MU-2 zoning district. A 235,000 SF shopping center is proposed on an additional 26.3084 acres in the Town of Haverstraw immediately north of the subject site.

North side of Route 202, west side of Palisades Interstate Parkway access road and 970 feet west of Thiells-Mount Ivy Road

Reason for Referral:

NYS Route 202, Palisades Interstate Parkway, Minisceongo Creek, Town of Haverstraw, Samuel G. Fisher Mount Ivy Environmental Park, Long Path

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

The proposed Minisceongo Park site is comprised of four separate tax parcels totalling 53.34 acres. Two parcels consisting of 27.03 acres are in the Town of Ramapo; the other two parcels totalling 26.31 acres are in the Town of Haverstraw. This General Municipal Law (GML) review is for the mixed-use development proposed on the Ramapo portion of the site. A separate GML review will be issued for the retail development proposed on the Haverstraw portion of the site.

1 A review shall be completed by the New York State Department of Transportation and all required permits obtained.

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2 The applicant must comply with the conditions of the Palisades Interstate Park Commission's (PIPC) letter of February 27, 2012. As noted in their letter, clearing and grading are proposed on park property without any discussion with the PIPC. In addition, Route 202 highway improvements are proposed on parkway lands. No construction activity or highway improvements can take place on park or parkway property without consultation and the permission of the PIPC.

It is our long-standing policy to recommend that a 20-foot buffer be maintained along all Park and Parkway property. This buffer shall remain undisturbed by construction vehicles in order to protect the root systems of trees on the Park and Parkway property, as well as the visual integrity of the park lands.

3 The applicant must comply with the conditions of the Rockland County Drainage Agency's letter of February 17, 2012.

4 The applicant must comply with the conditions of the Rockland County Sewer District No. 1's letter of February 14, 2012.

5 A review must be completed by the Haverstraw Joint Regional Sewer Authority and all required permits obtained from them.

6 A review must be completed by the New York State Department of Environmental Conservation and all required permits obtained from them.

7 A review shall be completed by the United States Army Corps of Engineers and all required permits obtained.

8 Drawing No. 3 (Minisceongo Park/Site Plan Entire Site) includes bulk tables detailing the Town of Haverstraw's C zoning district bulk standards and the Town of Ramapo's MU-2 zoning district bulk standards. Parking standard tables are also shown for the uses proposed in each town. The notes listed on this map are specific to the Town of Ramapo. A site plan for the entire site must include notes relevant to both municipalities. Note # 11 must be amended to include both Rockland County Sewer District No. 1 and the Haverstraw Joint Regional Sewer Authority. In addition, the "area" notation on the right side of the map must include the Town of Ramapo lot area in square feet to be consistent with how the information is presented for the Town of Haverstraw. This must also be included on Drawing No. 5 (Ramapo Site Plan). Drawing No. 4 (Haverstraw Site Plan) does not include notes. This must be corrected.

9 A review must be completed by the New York - New Jersey Trail Conference and any concerns addressed.

10 A review must be completed by the County of Rockland Division of Environmental Resources and any concerns addressed.

11 The applicant must comply with the conditions of the Rockland County Highway Department's letter of February 14, 2012.

12 There shall be no net increase in the peak rate of discharge from the site at all design points.

13 Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Guidelines for Urban Erosion and Sediment Control.

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14 The site grading plans must include the elevations for all proposed retaining walls, not just for those within the detention basin areas. Given the number and the length of the retaining walls proposed, cross sections must also be submitted for our review

15 The Floodplain Administrator for the Town of Ramapo shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.

16 The site utility plans include detailed legends for all of the proposed and existing utilities. However, this level of detail is not illustrated on the maps. In addition, the symbols used in the legend do not correspond to those used on the map, such as the water line. All utility lines must be shown on Drawings 11, 12, 13 and 14 and the symbols consistent.

17 Public sewer mains requiring extensions within a right-of-way or an easement shall be reviewed and approved by the Rockland County Department of Health prior to construction.

18 Since a fueling facility is proposed on the site, a review of the underground storage tank must be completed by the Rockland County Health Department and all required permits obtained.

19 Water is a scarce resource in Rockland County; thus proper planning and phasing of this project are critical to supplying the current and future residents of the Villages, Towns, and County with an adequate supply of water. A letter from the public water supplier, stamped and signed by a NYS licensed professional engineer, shall be issued to the municipality, certifying that there will be a sufficient water supply during peak demand periods and in a drought situation.

20 If any public water supply improvements are required, engineering plans and specifications for these improvements shall be reviewed by the Rockland County Department of Health prior to construction. In order to complete an application for approval of plans for public water supply improvements, the water supplier must supply an engineer's report pursuant to the "Recommended Standards for Water Works, 2003 Edition," that certifies their ability to serve the proposed project while meeting the criteria contained within the Recommended Standards for Water Works. These standards are adopted in their entirety in 10 NYCRR, Subpart 5-1, the New York State regulations governing public water systems. Further, both the application and supporting engineer's report must be signed and stamped by a NYS licensed professional engineer and shall be accompanied by a completed NYS Department of Health Form 348, which must be signed by the public water supplier.

21 A review must be completed by the County of Rockland Office of Fire and Emergency Services, the fire inspector and the Monsey Fire District to ensure that there is sufficient maneuverability on-site for emergency vehicles.

22 The fire zones must be clearly marked on the site plan. Access to the fire zones shall be unimpeded by other parking areas and maneuverability on the site feasible.

23 A review shall be done by the Rockland County Department of Public Transportation to determine the best locations for pick-up of potential TRIPS users.

24 A bus shelter is proposed to the east of the boulevard entrance on the north side of Route 202. The location of this shelter must be approved by the Rockland County Department of Public Transportation. A concrete pad must be provided that is 5 feet long by 10 feet wide. The Rockland County Department of Public Transportation will supply the bus shelter. The County's bus shelter specifications are attached. Ideally, a second bus shelter pad should be provided on the south side of Route 202 opposite the subject site.

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25 Transport of Rockland (TOR) operates the 95 bus route along Route 202 so it is likely that some future customers will travel to this site by public transportation. A pedestrian crosswalk must be provided at the boulevard entrance so that public transportation users can safely cross Route 202.

26 The project narrative dated February 22, 2012 indicates that 200 multi-family dwelling units are proposed in five buildings of up to four stories. Three buildings will contain 48 units; two buildings will contain 28 units. The site plan shows five, three-story buildings each containing 40 units. All application materials must be consistent.

27 It is difficult to determine the boundaries of the parking fields shown on the site plan. On Drawing No. 5, a parking field to the east of Pad "F" and north of Two Town Drive and Pad "D" is identified as having two spaces despite being in a row of 30 parking spaces. The total number of parking spaces in each row must be indicated on the site plan. The allocation of parking spaces for the individual commercial pads must be clearly delineated on the site plan and in the field to ensure that sufficient parking is provided in close proximity to each retail establishment.

28 Low evergreen landscaping must be provided in front of the parking spaces facing the Palisades Interstate Parkway Access Road to shield headlights from shining into oncoming vehicles traveling on the road.

29 Specific areas shall be designated on the site plan for snow piles so that landscaped areas are not damaged by piles of snow and road salt.

30 Additional landscaping shall be provided around the detention basins to mitigate the visual impact of the retaining walls and fencing. The development coverage can be further reduced by landscaping the striped areas to the south of Pad "C."

31 All proposed signage shall conform to the municipality's sign standards.

32 The proposed pylon signs must be labeled on Drawing No. 5. The pylon sign in the southeast corner of the site near the intersection of Route 202 and the Palisades Interstate Parkway Access Road is not labeled on any map. The sign list on Drawing No. 17 provides the only indication that a pylon sign is proposed at this location.

33 The project narrative incorrectly identifies Quaker Road as a county road and a reason for the GML referral. Quaker Road is not a county road. The narrative must be corrected.



Thomas B. Vanderbeek, P.E.
Commissioner of Planning

cc: Supervisor Christopher St. Lawrence, Ramapo
New York State Department of Transportation
New York State Department of Environmental Conservation
Palisades Interstate Park Commission
Rockland County Drainage Agency
Rockland County Department of Highways
Rockland County Division of Environmental Resources
New York - New Jersey Trail Conference
Rockland County Department of Health
Rockland County Sewer District #1
Rockland County Office of Fire and Emergency Services

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Rockland County Department of Public Transportation
Rockland County Planning Board
United States Army Corps of Engineers
Haverstraw Joint Regional Sewer Authority
Atzl, Scatassa & Zigler P.C.
Town of Haverstraw
Ira M. Emanuel, Esq.

Mount Ivy Partners, LLC

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

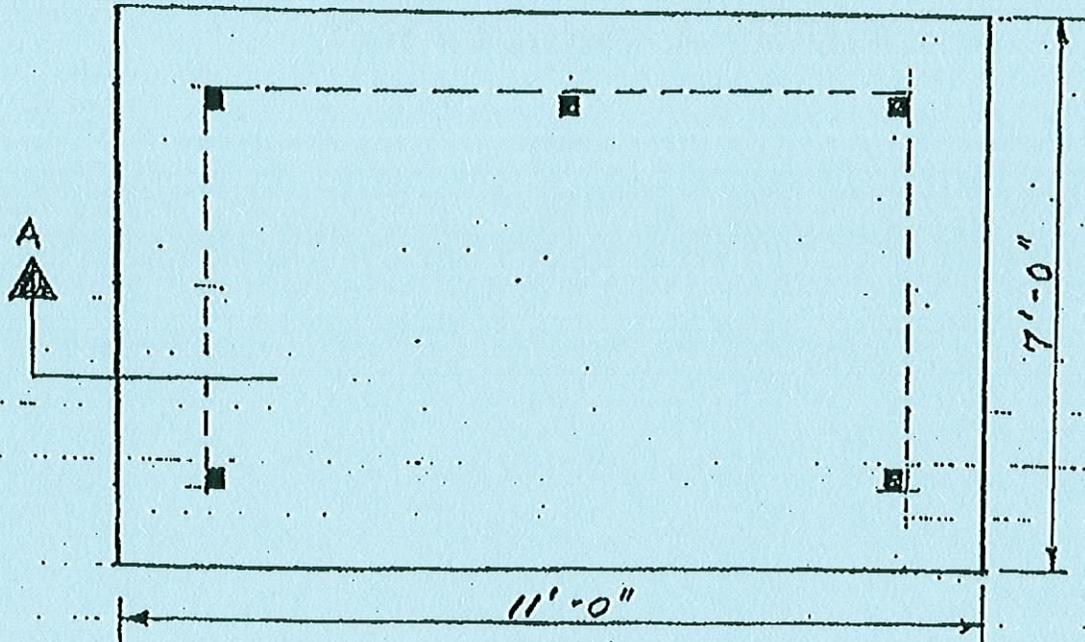
COUNTY OF ROCKLAND - DGS-PURCHASING
BLDG. A., 2ND FLOOR, 50 SANATORIUM RD, POMONA, NY 10970
TELEPHONE: 845-364-3820 / TELEFAX: 845-364-3809

**TITLE: BUS SHELTERS, NEW, REPLACEMENT, MAINTENANCE
AND REPAIR TO INCLUDE FURNISH, DELIVERY AND
INSTALLATION ON AN AS NEEDED BASIS**

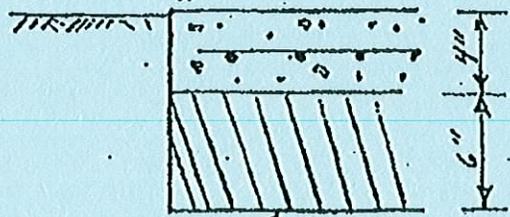
BID NUMBER: RFB-RC-09-117

EXHIBIT A – DRAWINGS

CONCRETE SLAB ON GRADE
 (FOR 5' X 9' BUS SHOULDER)



PLAN



NYS DOT ITEM 608.0101

NYS DOT ITEM 304.02

FIRM SUBGRADE

QUANTITY

SECTION A.

0.95 CY ITEM 608.0101

1.43 CY ITEM 304.02

ACCESSIBLE BUS STOPS

NOTE:

The bus shelters are shown for illustrative purposes only. Shelters that are provided may be installed in a wide variety of locations near bus stops.

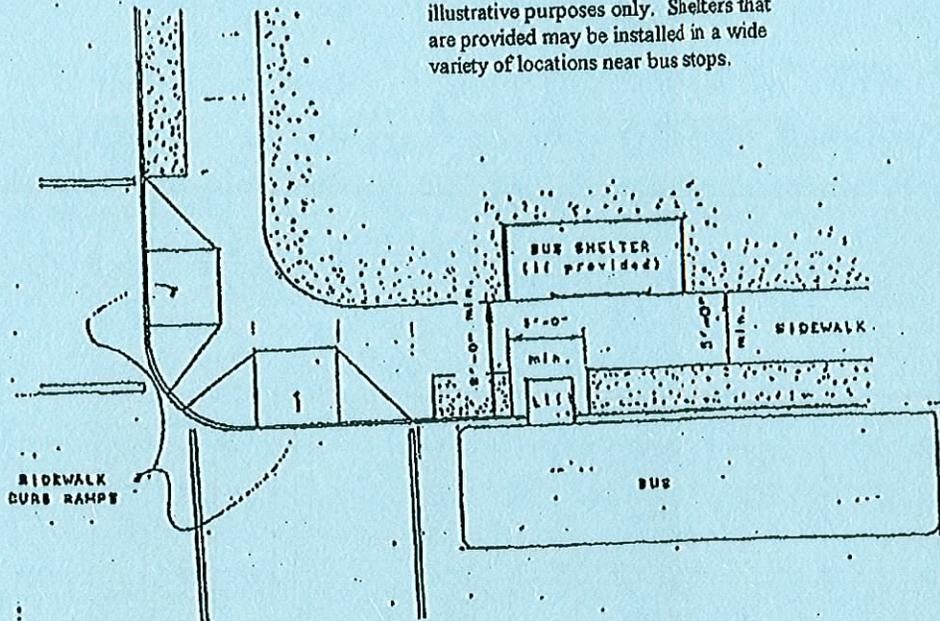
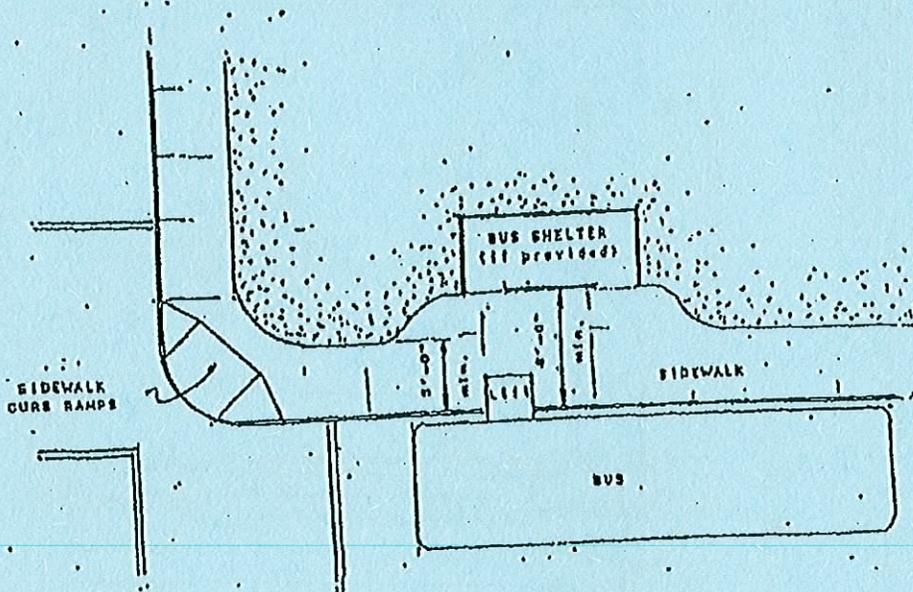
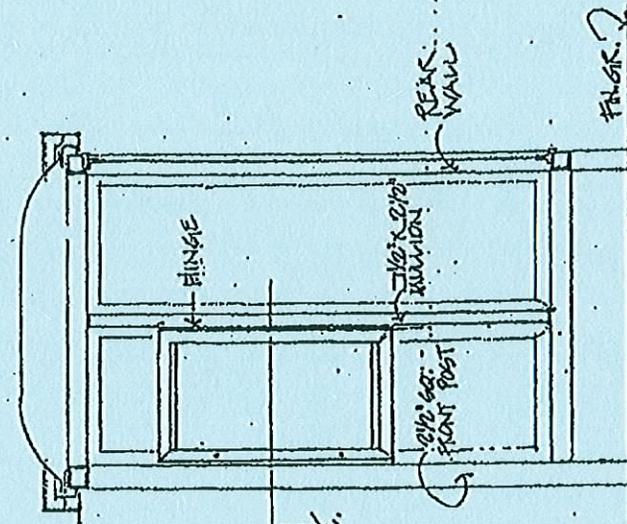


Figure 1

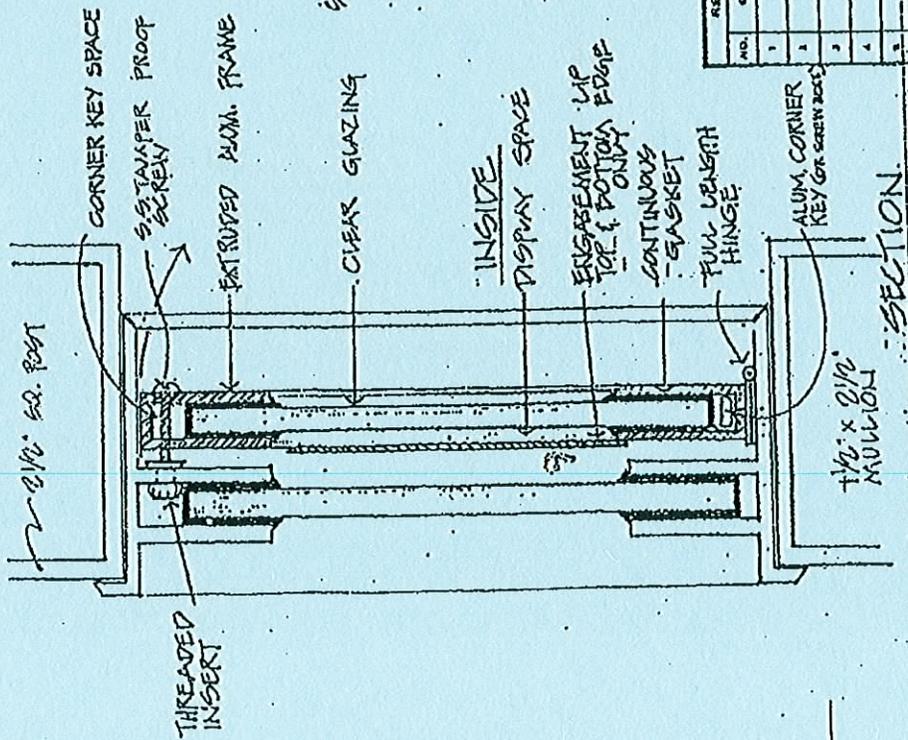


THIS DRAWING ILLUSTRATES A TYPICAL MAP/SCHEDULE HOLDER PANEL, AND CONSTRUCTION DETAILS ONLY. OTHER PANEL SIZES AND SHELTER CONFIGURATIONS ARE ALSO AVAILABLE. COORDINATION WILL BE PER YOUR SPECS.



TYPICAL LOCATION SECTION THRU SHELTER LOOKING OUT
 DETAIL OF MAP PANEL LOCATION

REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	



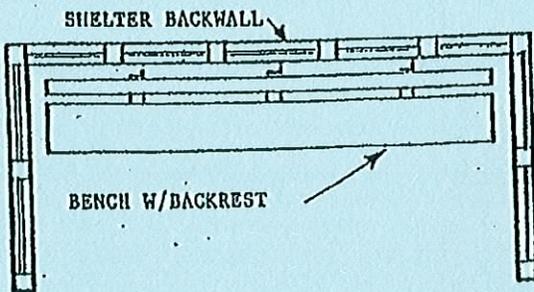
1/2" x 2 1/2" ANGLE IRON

THREADED INSERT

1/2" x 2 1/2" ANGLE IRON

SECTION

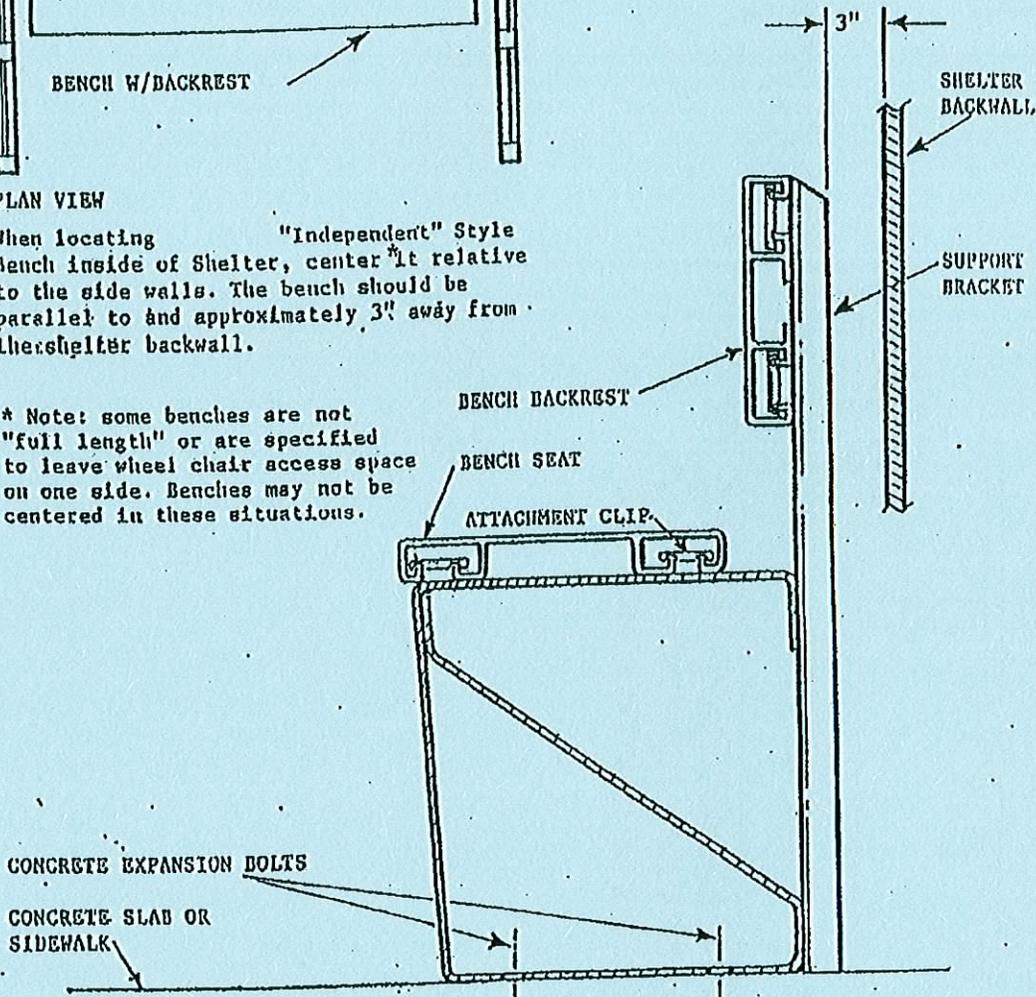
INSTALLATION DIAGRAM FOR INDEPENDENT BENCH WITH BACKREST



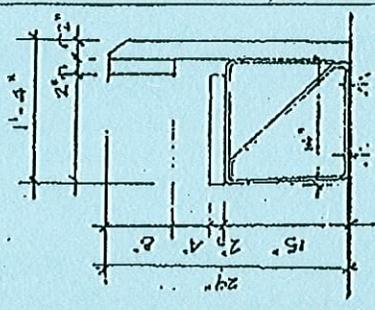
PLAN VIEW

When locating "Independent" Style Bench inside of Shelter, center it relative to the side walls. The bench should be parallel to and approximately 3" away from the shelter back wall.

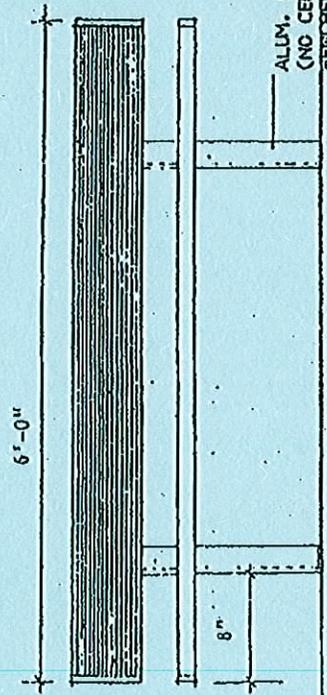
* Note: some benches are not "full length" or are specified to leave wheel chair access space on one side. Benches may not be centered in these situations.



When Bench is properly located within Shelter (where it is used with a shelter) mark the hole locations in the bottom of the bench support brackets onto the concrete. 1/2" diameter expansion bolts have been provided. Drill 1/2" diameter holes in the concrete centered on the marked locations, install bolts and secure bench with washers, lock washers and nuts provided.



SIDE ELEVATION VIEW



FRONT ELEVATION VIEW



PLAN VIEW

REVISIONS		BY	DATE
1			
2			
3			
4			
5			

PLAN & ELEVATION VIEWS
INDEPENDENT BENCH - 6'-0"