



**COUNTY OF ROCKLAND**  
**DEPARTMENT OF PLANNING**

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C. SCOTT VANDERHOEF  
County Executive

THOMAS B. VANDERBEEK, P.E.  
Commissioner

June 21, 2012

ARLENE R. MILLER  
Deputy Commissioner

Haverstraw Planning Board  
One Rosman Road  
Garnerville, NY 10923

**Tax Data:** 25.18-2-4      25.18-2-3

**Re: GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M

**Map Date** 5/15/2012

**Date Review Received:** 5/31/2012

**Item:** *MINISCEONGO PARK (H-116K)*

Site plan for a proposed 234,800 square foot retail commercial development, located in the C zoning district on 26.3084 acres in the Town of Haverstraw. An additional mixed-use development consisting of four retail pads and a residential multi-family housing development is also proposed on the 27.025 acre site in the MU-2 zoning district in the Town of Ramapo. The total acreage for the development is 53 acres.

North side of NYS Route 202, west side of the Palisades Interstate Parkway access road, and 970 feet west of Thiells-Mount Ivy Road

**Reason for Referral:**

NYS Route 202, Palisades Interstate Parkway, Minisceongo Creek, Town of Ramapo, Samuel G. Fisher Mount Ivey Environmental Park, Long Path, Rockland County Sewer District #1 pumping station

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

***\*Recommend the following modifications***

The proposed Minisceongo Park site is comprised of four separate tax parcels totaling 53.34 acres. This site plan review is for the portion of the site located on the 26.3084 acres in the Town of Haverstraw, in which 234,800 square feet of retail commercial space is proposed.

1 An updated review shall be done by the New York State Department of Transportation, and all required permits obtained. In addition, the comments outlined in their May 4, 2012 letter must be met.

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2 Since NYS Route 202 is proposed as a future bike route, shoulder widths must be maintained along the corridor. Where there are dedicated right turn lanes at driveways, the right turn lane should be located adjacent to the curb, and the shoulder width should be carried through the intersection, adjacent to the travel lane, as a bike lane. As this is new construction, it is recommended that the widening be done to accommodate a bike lane adjacent to the travel lane at all driveways that have a dedicated right turn lane.

3 An updated review must be completed by the Palisades Interstate Park Commission (PIPC) and their comments considered. In particular, the PIPC must review the location and extent of the proposed retaining walls, and the visual impact of these walls to their road system.

4 An updated review must be completed by the County of Rockland Sewer District #1, and all required permits obtained from them. In particular, all issues with the out of district connection for the sewers must be resolved prior to final site plan approval, including performing a flow and capacity analysis of the Mount Ivy Interceptor Pump Station and Force Main.

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5 An updated review must be completed by the Rockland County Department of Health for the water main extension and to ensure compliance with the County Mosquito Code.

6 An updated review must be completed by the County of Rockland Drainage Agency, and all required permits obtained.

7 An updated review must be completed by the County of Rockland Department of Highways and all required permits obtained from them.

8 An updated review shall be done by the County of Rockland Division of Environmental Resources, and any comments addressed.

9 The Rockland County Office of Fire and Emergency Services and the local fire departments should review the site plan to ensure the fire zones, location of hydrants, and other emergency related site plan issues are adequate.

10 A review must be completed by the New York State Department of Environmental Conservation and all required permits obtained from them.

11 An updated review shall be completed by the United States Army Corps of Engineers and all required permits obtained.

12 An updated review must be completed by the Haverstraw Joint Regional Sewer Authority and all required permits obtained from them.

13 An updated review must be completed by the New York - New Jersey Trail Conference and any concerns addressed.

14 Drawing #3 (Concept Plan) should contain general notes for the entire parcel, such as what is provided on Drawing #5 (Ramapo Site Plan). However, because this is town specific, some of the information for the Ramapo Site Plan is not pertinent for the portion of the site located in the Town of Haverstraw, such as the Sewer District information. The Ramapo plan does not contain the standard note about the plan not conflicting with Section 239 L & M of the General Municipal Law. Having all of the information on the one overall concept plan would prevent duplication of information, while also assuring that all relevant information is provided.

## MINISCEONGO PARK (H-116K)

- 15 All walls should be shown on the Haverstraw Site Plan, Drawing #4. The two new walls are not illustrated on this plan.
- 16 The number of parking spaces for each aisle are missing on Drawings #4, 5, and 6 (the circles are present, but not the numbers). This should be provided so that it is easier to calculate the number of parking spaces in each aisle.
- 17 Wall elevations have been provided in some areas. However, there are still some walls where elevations are not provided, such as on Drawing #9 on the westernmost wall that extends from Haverstraw to Ramapo, the northern wall that runs between Drawing #9 and Drawing #10, the southern wall around pond #1, and many of the walls located in the Town of Ramapo. Other elevations are difficult to read as they are located on top of symbols or other words, such as on Drawing #9 along the long western wall where it curves east or in the detention ponds for pond #3, pond #2, and in the ponds in the Town of Ramapo section. Lastly, there are some walls that only have one wall elevation provided - either the top of wall or bottom of wall, such as for the walls around pond #2, the north wall for pond #1, and many of the walls located in the Town of Ramapo. All measurements must be provided and clearly readable for all walls.
- 18 In locations where the walls are over five feet, they should be tiered and landscaped to break up their massive size. This is particularly the case for the proposed wall that runs parallel to the Palisades Interstate Parkway access road where the wall is 18 feet in height. In addition, given the length and height of the retaining walls, cross sections must be submitted for review so that a visual assessment can be determined.
- 19 The Utility Plans do not show the location of proposed gas service connections to the buildings. Electrical connections are also not provided. The Utility Plans include detailed legends for all of the proposed and existing utilities, however, this level of detail is not illustrated on the maps. In addition, the symbols used in the legend do not correspond to those used on the map, such as the water line. The location of all utilities must be provided and the legend consistent with the utilities shown.
- 20 Additional landscaping must be provided along the walls, to help to visually break up their massive length and size and around the ponds to mitigate the visual impact of the fencing.
- 21 Many of the snow storage areas abut a landscaped island at the end of the aisles. Piling of snow onto these islands will break the shrubs, and the salt levels will also negatively affect the vegetation. How will piling snow onto these landscaped islands be prevented?
- 22 The Floodplain Administrator for the Town of Haverstraw shall certify that the proposed construction is in compliance with the floodplain regulations of the Town and the Federal Emergency Management Agency.
- 23 Public sewer mains requiring extensions within a right-of-way or an easement shall be reviewed and approved by the Rockland County Department of Health prior to construction.
- 24 Water is a scarce resource in Rockland County; thus proper planning and phasing of this project are critical to supplying the current and future residents of the Villages, Towns, and County with an adequate supply of water. A letter from the public water supplier, stamped and signed by a NYS licensed professional engineer, shall be issued to the municipality, certifying that there will be a sufficient water supply during peak demand periods and in a drought situation.

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25 If any public water supply improvements are required, engineering plans and specifications for these improvements shall be reviewed by the Rockland County Department of Health prior to construction. In order to complete an application for approval of plans for public water supply improvements, the water supplier must supply an engineer's report pursuant to the "Recommended Standards for Water Works, 2003 Edition," that certifies their ability to serve the proposed project while meeting the criteria contained within the Recommended Standards for Water Works. These standards are adopted in their entirety in 10 NYCRR, Subpart 5-1, the New York State regulations governing public water systems. Further, both the application and supporting engineer's report must be signed and stamped by a NYS licensed professional engineer and shall be accompanied by a completed NYS Department of Health Form 348, which must be signed by the public water supplier.

26 All proposed signage shall be indicated on the site plan and shall conform to the municipality's sign standards.

27 The narrative indicates that the Haverstraw portion of the site will contain one large anchor commercial retail store with three adjacent units of 20,000 sq. ft. However, the site plan, Drawing #4, indicates that the Anchor B stores will be 30,000 sq. ft for two of the stores, and 24,800 sq. ft. for the third store. These discrepancies must be corrected.

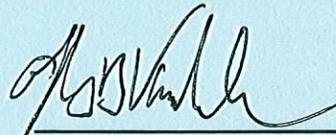
28 A bus turnout should also be provided on the south side of NYS Route 202 to accommodate patrons or employees who may be arriving via the TOR 95 bus service. A crosswalk should be provided across NYS Route 202, with pedestrian signals and countdown timers, connecting to the bus shelter/turnout area. The new signal design should also not preclude the addition of pedestrian signalization on all legs of the intersection if so needed in the future.

29 An updated review must be completed by the Rockland County Department of Public Transportation. Concrete pads that are 5 feet long by 10 feet wide must be provided; the Rockland County Department of Public Transportation will supply the bus shelters. The County's bus shelter specifications are attached.

30 There shall be no net increase in the peak rate of discharge from the site at all design points.

31 Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Guidelines for Urban Erosion and Sediment Control.

32 A stormwater pollution prevention plan (SWPPP) was not provided. The SWPPP, if required, shall conform to the current regulations, including the New York State Stormwater Management and Design Manual (August 2010) and local ordinances.



Thomas B. Vanderbeek, P.E.  
Commissioner of Planning

cc: Supervisor Howard Phillips, Haverstraw  
New York State Department of Transportation  
New York State Department of Environmental Conservation  
Palisades Interstate Park Commission  
Rockland County Drainage Agency  
Rockland County Department of Highways  
Rockland County Division of Environmental Resources

**MINISCEONGO PARK (H-116K)**

Rockland County Department of Health  
Rockland County Sewer District #1  
Rockland County Office of Fire and Emergency Services  
Rockland County Department of Public Transportation  
Rockland County Planning Board  
New York - New Jersey Trail Conference  
United States Army Corps of Engineers  
Atzl, Scatassa & Zigler P.C.  
Town of Ramapo  
Haverstraw Joint Regional Sewer Authority  
Ira M. Emanuel, Esq.

*\*NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings.*

*The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

*In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.*

*Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.*



COUNTY OF ROCKLAND - DGS-PURCHASING  
BLDG. A., 2ND FLOOR, 50 SANATORIUM RD, POMONA, NY 10970  
TELEPHONE: 845-364-3820 / TELEFAX: 845-364-3809

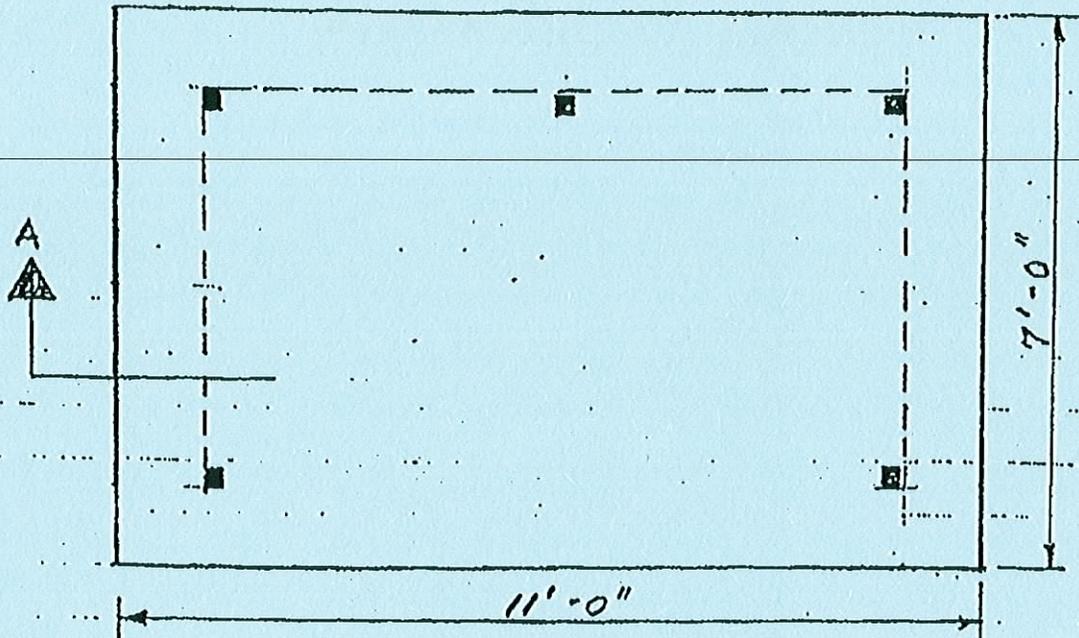
**TITLE: BUS SHELTERS, NEW, REPLACEMENT, MAINTENANCE  
AND REPAIR TO INCLUDE FURNISH, DELIVERY AND  
INSTALLATION ON AN AS NEEDED BASIS**

**BID NUMBER: RFB-RC-09-117**

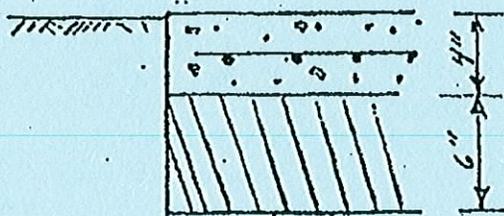
## EXHIBIT A – DRAWINGS

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CONCRETE SLAB ON GRADE  
 (FOR 5' X 9' BUS SHOULDER)



PLAN



NYS DOT ITEM 608.0101

NYS DOT ITEM 304.02

FIRM SUBGRADE

QUANTITY

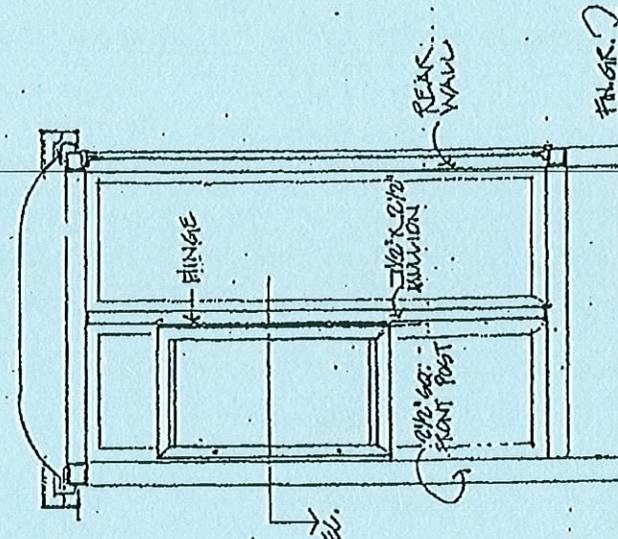
SECTION A.

0.95 CY ITEM 608.0101

1.43 CY ITEM 304.02

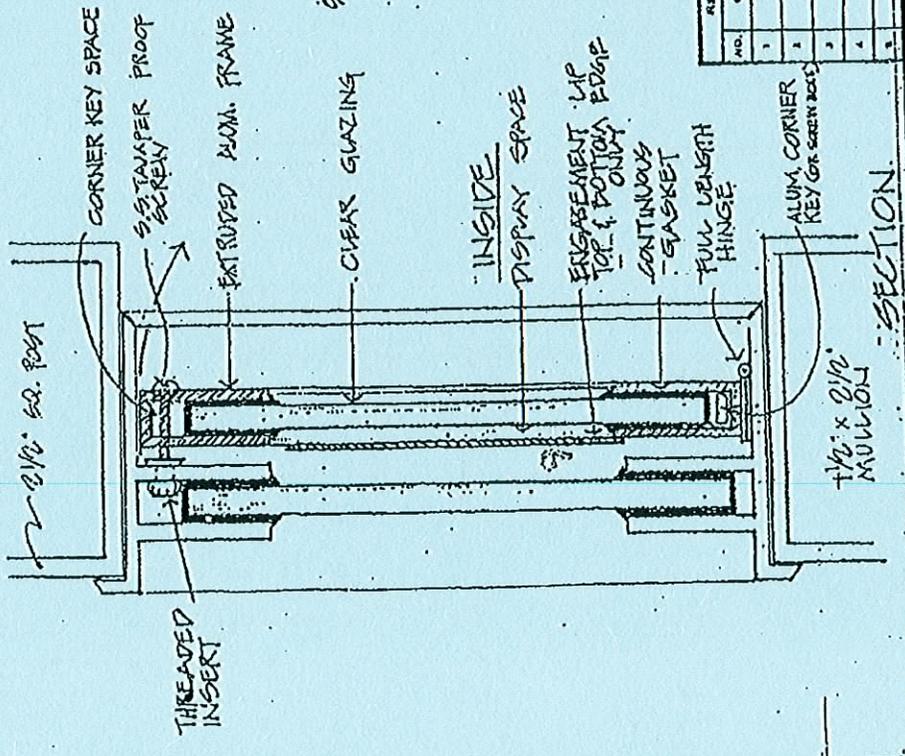


THIS DRAWING ILLUSTRATES A TYPICAL MAP/SCHEDULE HOLDER PANEL, AND CONSTRUCTION DETAILS D.M.T. OTHER PANEL SIZES AND SHELTER CONFIGURATIONS ARE ALSO AVAILABLE. COOF CONFIGURATION WILL BE PER YOUR SPECS.



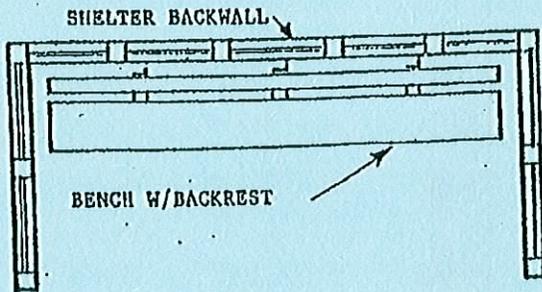
TYPICAL LOCATION SECTION THRU SHELTER LOOKING OUT  
 TYPICAL LOCATION SECTION OF MAP/PANEL

NO.	DATE	BY
1		
2		
3		
4		
5		



SECTION

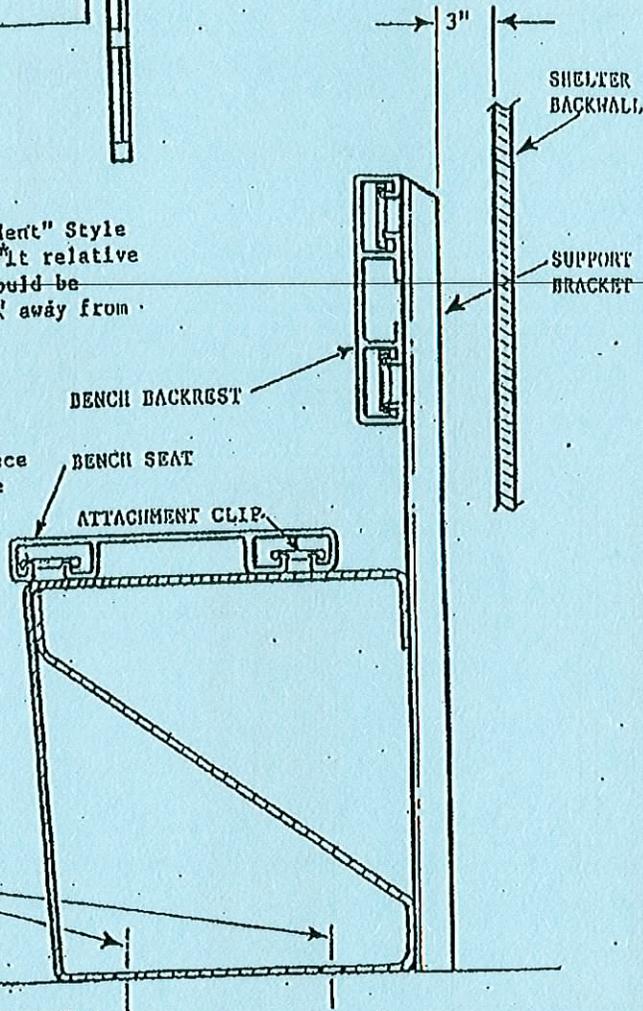
INSTALLATION DIAGRAM FOR INDEPENDENT BENCH WITH BACKREST



PLAN VIEW

When locating "Independent" Style Bench inside of Shelter, center it relative to the side walls. The bench should be parallel to and approximately 3" away from the shelter backwall.

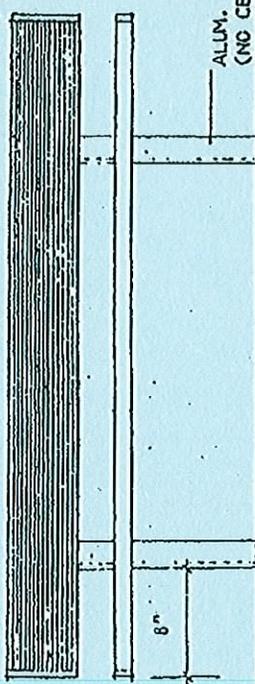
\* Note: some benches are not "full length" or are specified to leave wheel chair access space on one side. Benches may not be centered in these situations.



CONCRETE EXPANSION BOLTS  
CONCRETE SLAB OR SIDEWALK

When Bench is properly located within Shelter (where it is used with a shelter) mark the hole locations in the bottom of the bench support brackets onto the concrete. 1/2" diameter expansion bolts have been provided. Drill 1/2" diameter holes in the concrete centered on the marked locations, install bolts and secure bench with washers, lock washers and nuts provided.

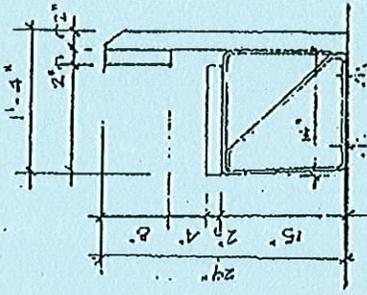
6'-0"



FRONT ELEVATION VIEW



PLAN VIEW



SIDE ELEVATION VIEW

REVISIONS		
NO.	DATE	BY
1		
2		
3		
4		
5		

PLAN & ELEVATION VIEWS  
INDEPENDENT BENCH - 6'-0"